

MODAL 00 ADU - NUNEZ

2721 E 2100 S, Salt Lake City, UT 84109

PROJECT TEAM

PROJECT OWNER	MODULAR BUILDING MANUFACTURER	PROJECT ARCHITECT	STRUCTURAL ENGINEER	GENERAL CONTRACTOR
-	LiveModal	RANGE Architecture + Design	EPIC Engineering	TBD
Jade & Allie Nunez alliegriffin1@gmail.com 2721 E 2100 S Salt Lake City, UT 84109 Ph. 225.262.9628	Attn: Andrea Palmer andrea@livemodal.com 150 S State Street Salt Lake City, UT 84102 Ph. 801.864.1761	Attn: Ian Kaplan ikaplan@rangearchitecture.com 1068 E 2100 S Salt Lake City, UT 84106 Ph. 585.261.1856	Attn: Chris Reeves creeves@epiceng.net 3341 S 4000 W, Suite D West Valley City, UT 84120 Ph. 435.654.6600	TBD

CIVIL ENGINEER
WARD ENGINEERING
John Bond
jbond@wardeng.com
231 W 800 S, Ste. A
Salt Lake City, UT 84101
Ph. 801.487.8040

GENERAL NOTE:
ALL MODULAR UNITS SHALL BE MANUFACTURED WITHIN THE BOUNDARIES OF SALT LAKE CITY. ALL INSPECTIONS SHALL BE PERFORMED BY SALT LAKE CITY INSPECTORS.

VICINITY MAP



SHEET INDEX

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		P101	PLUMBING & SANITARY PLANS, DETAILS & SCHEDULES
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PROJECT INFORMATION

ADDRESS:	2721 E 2100 S Salt Lake City, UT 84109
PARCEL RECORD #:	16083280150000
AUTHORITY W/ JURISDICTION:	Salt Lake City
SITE AREA:	.42 ACRES (18,144 SF)
DESCRIPTION:	MODULAR DETACHED ACCESSORY DWELLING UNIT TO BE ADDED TO EXISTING SINGLE FAMILY RESIDENCE PROPERTY.
ZONING:	R-2
CONSTRUCTION TYPE:	VB (WOOD FRAME)

ZONING INFORMATION

R-1-5000 - 21A.24.070		
SURFACE COVERAGE:	REQUIRED	COMPLIANCE
Lot Size:	40% MAX	YES
Structure Coverage:	18,144 SF	
Existing House:	1,854 SF	
New ADU:	352 SF	
Total:	2,206 SF (12%)	
ACCESSORY DWELLING UNITS - 21A.40.200		
PARKING:	REQUIRED	COMPLIANCE
	*1	YES
	*Not required if 1/4 mile from mass transit	
	*On street parking may comply	
SIZE:	50% of existing dwelling area	YES
Existing House:	1,854 SF	
Proposed ADU:	352 SF (19% of existing)	
	< 650 SF?	YES
SURFACE COVERAGE:	50% MAX OF REAR YARD	YES
Rear Yard Size:	10,539 SF	
Structure coverage:	352 SF (3%)	
SETBACKS (DETACHED ADU):		
From S.F.R.:	10'	YES
Side:	*4'	YES
	*10' Required if unit faces side property line, includes access stairway	
Rear:	4'	YES
STRUCTURE HEIGHT:	17' OR HEIGHT OF EXISTING SFR	YES

NOTICE TO ALL:

IT IS THE RESPONSIBILITY OF EACH AND EVERY CONTRACTOR, SUB-CONTRACTOR, AND/OR TRADE TO VERIFY ALL ASPECTS OF THESE DRAWINGS AND TO MAKE ANY AND ALL CORRECTIONS, ALTERATIONS, AND/OR CHANGES NECESSARY TO COMPLY WITH ALL CODE REQUIREMENTS, LOCAL REGULATIONS, AND PROPER DESIGN CRITERIA, UPON NOTIFICATION OF THE GENERAL CONTRACTOR AND DESIGNER AND TO ASSURE THE FUNCTION AND/OR OPERATION OF THE SAME, TO A REASONABLE STANDARD, AS REQUIRED BY LAW.

APPLICABLE CODES:

- ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES:
- 2015 INTERNATIONAL RESIDENTIAL CODE AS AMENDED BY THE STATE OF UTAH (IRC)
 - 2018 INTERNATIONAL FIRE CODE (IFC)

DEFERRED SUBMITTALS:

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO RANGE ARCHITECTURE AND DESIGN, WHO SHALL REVIEW AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTED DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

THE FOLLOWING ARE DEFERRED SUBMITTAL ITEMS:

- N/A

CONTRACTOR RESPONSIBILITIES:

THE PROVIDED SITE PLAN IS DRAWN SCHEMATICALLY. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR (GC) TO EXECUTE ANY/ALL REQUIRED SITE UTILITY & PREPARATION WORK IN ACCORDANCE WITH ALL APPLICABLE CODES & THE AUTHORITY HAVING JURISDICTION (AHJ). GENERALLY, THE GC SHALL BE RESPONSIBLE FOR THE COORDINATION, EXECUTION AND APPROVAL OF ALL WORK OUTSIDE OF THE MODULAR UNIT BUILDING ENVELOPE.

GENERAL NOTES - SITE PLAN

- UTILITY LOCATIONS ARE SHOWN SCHEMATICALLY. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO THE EXECUTION OF ANY WORK. WHEN SHOWN IN SITE PLAN, ALL DIMENSIONS ARE TO FACE OF FINISH TO PROPERTY LINES, IMAGINARY LINES, SETBACKS, ETC., U.N.O.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- SEE BUILDING PLANS FOR ALL OTHER NOTES AND DIMENSIONS NOT SHOWN HERE.
- NO PART OF RETAINING WALLS AND FOOTINGS SHALL ENCRUCH INTO ADJACENT PROPERTIES OR EASEMENTS.
- THE PROPERTY OWNER SHALL MAINTAIN ALL DRAINAGE FACILITIES LOCATED WITHIN THE PARCEL AND BE RESPONSIBLE TO PREVENT DAMAGE TO DOWNSTREAM PROPERTIES.
- CONTRACTOR IS TO CONTACT AND ABIDE BY THE RULES OF THE UTAH DIVISION OF AIR QUALITY. (801) 536-4000.
- IF NO GAS UTILITY LINE OR METER ARE SHOWN ON THESE DRAWINGS THEN THERE IS NO GAS SERVICE PROVIDED TO THE SUBJECT PROPERTY.
- ALL UTILITY TRENCHING MUST BE PER SLCPU STANDARD PRACTICE NO. 1
- ALL UTILITIES MUST MEET HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS PER CODE. WATER & SEWER LINES REQUIRE 10' MIN. HORIZONTAL SEPARATION AND 18" MIN VERTICAL SEPARATION. SEWER MUST MAINTAIN 5' MIN. HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-WATER UTILITIES. WATER MUST MAINTAIN 3' MINIMUM HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-SEWER UTILITIES.
- A MINIMUM OF ONE EXTERIOR CLEANOUT IS REQUIRED ON THE SEWER LATERAL WITHIN 5' OF THE BUILDING. ADDITIONAL CLEANOUTS ARE REQUIRED AT EACH BEND AND AT LEAST ONE EVERY 50' FOR 4" LATERALS AND ONE EVERY 100' FOR 6" LATERALS.
- SALT LAKE CITY PUBLIC UTILITIES GENERAL NOTES ARE INCORPORATED AS PART OF THIS PLAN SET.
- SEWER LATERAL MUST GRAVITY DRAIN ALL FLOORS AND MEET MINIMUM SLOPE REQUIREMENTS (2% FOR 4" LATERALS, 1% FOR 6" LATERALS) POWER COMPANY, GAS COMPANY AND COMMUNICATION COMPANIES ARE RESPONSIBLE FOR SUBMITTING DESIGN PLANS AS REQUIRED BY TITLE 14 CHAPTER 32 OF THE REVISED ORDINANCES OF SALT LAKE CITY FOR ALL PROPOSED WORK FOR THEIR RESPECTIVE UTILITY LINES FOR THIS PROJECT IN OR ADJACENT TO THE CITY ROW OR A PUBLIC UTILITIES ROW. PLAN REVIEWS ARE REQUIRED BY THE PUBLIC UTILITIES DEPT. UTILITY COORDINATOR AND HTE CITY ENGINEERING PUBLIC WAY PERMIT PLAN REVIEWER.
- ELECTRICAL SERVICE CONDUCTORS MUST BE A MINIMUM OF 8' ABOVE ANY PORTION OF THIS STRUCTURE.

LEGEND - SITE PLAN

	MODULAR BUILDING FOOTPRINT		APPROX. EXISTING SEWER LINE - CONTRATOR TO FIELD LOCATE PER CODE
	EXISTING STRUCTURE FOOTPRINT		APPROX. NEW SEWER LINE - CONTRACTOR TO FIELD LOCATE PER CODE. 4" SDR35 REQUIRED.
	NEW DECK/STAIRS FOOTPRINT		APPROX. EXISTING WATER LINE - CONTRACTOR TO FIELD LOCATE PER CODE
	ROOF OVERHANG ABOVE		APPROX. NEW WATER LINE - CONTRACTOR TO FIELD LOCATE PER CODE. 3/4" HDPE MIN. FIELD VERIFY SIZE TO MATCH EXISTING LATERAL FROM HOUSE TO METER.
	EXISTING DRIVEWAY		APPROX. EXISTING GAS LINE - CONTRACTOR TO FIELD LOCATE PER CODE
	DEMOLISH EXISTING STRUCTURE/HARDSCAPE		APPROX. EXISTING BURIED ELECTRICAL/TELECOMMUNICATIONS LINE - CONTRACTOR TO FIELD LOCATE PER CODE
	PROPERTY LINE		APPROX. NEW ELECTRICAL/TELECOMMUNICATIONS LINE - CONTRACTOR TO FIELD LOCATE PER CODE
	SETBACK LINES		
	FIRE HOSE PULL/HYDRANT DISTANCE		
	SEWER CLEAN-OUT. CLEANOUTS LOCATED ON DRIVE-WAY REQUIRE TRAFFIC RATED COVER. 1" SEWER CLEANOUT REQUIRED PER 50' MAX OF SEWER LINE.		

SITE CALCULATIONS

REQUIREMENT: 40% MAXIMUM LOT COVERAGE

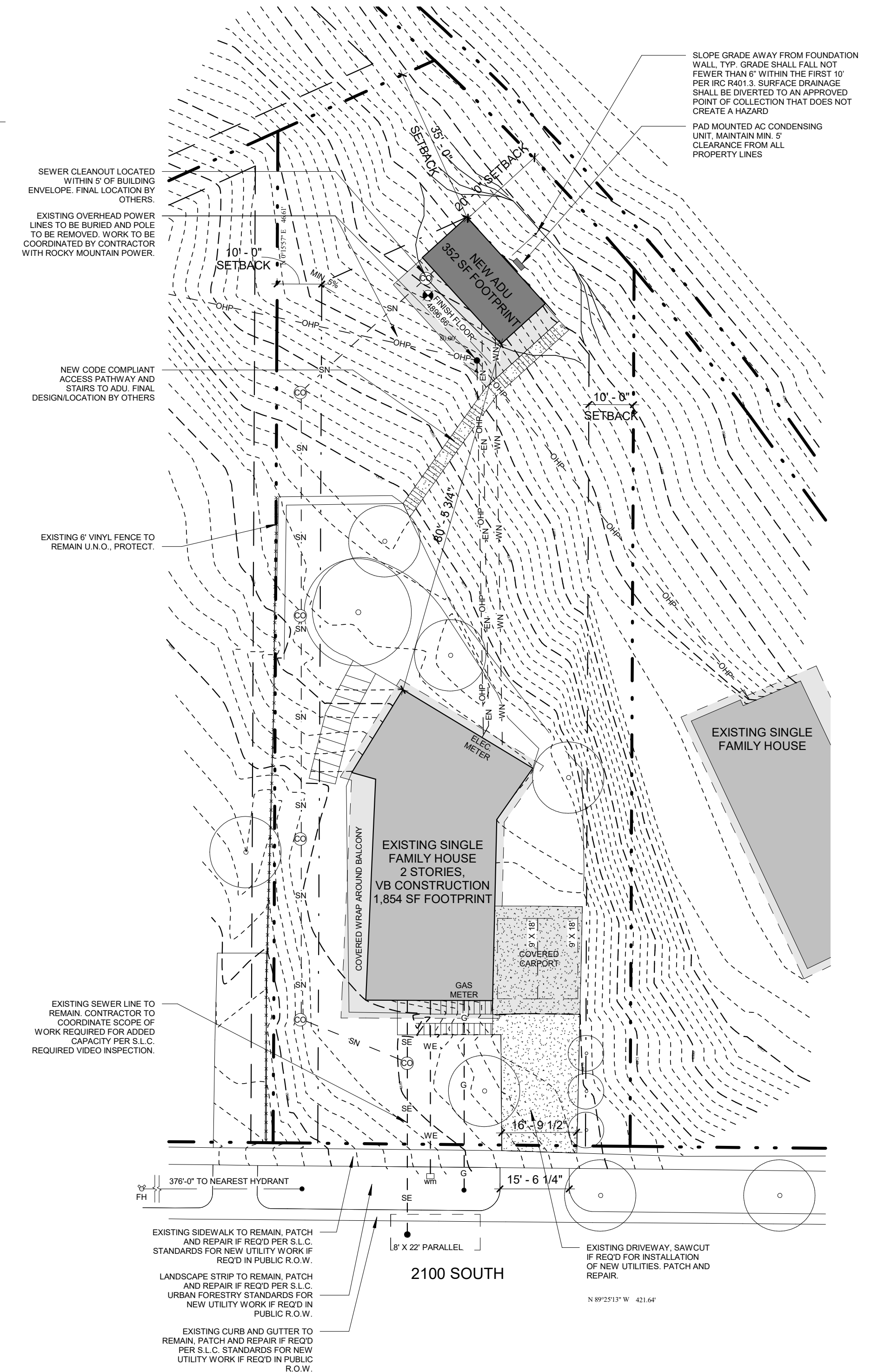
Lot Size:	18,144 SF
Structure Coverage:	
Existing House:	1,854 SF
New ADU:	352 SF
Total:	2,206 SF - 12% Coverage

REQUIREMENT: 50% MAX OF REAR YARD

Rear Yard Size:	10,539 SF
Structure coverage:	
New ADU:	352 SF
Total:	352 SF - 3% Coverage

Know what's below.
Call 811 before you dig.

Blue Stakes of UTAH 811
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111



01 Site Plan
1" = 20'-0"

THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXPRESSED WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. PROHIBITED USE OF THE DESIGN OR THESE DRAWINGS IS SUBJECT TO THE FULL EXTENT OF LEGAL ACTION.

RANGE ARCHITECTURE + DESIGN
1068 E 2100 S, SALT LAKE CITY, UT 84109
WWW.RANGEARCHITECTURE.COM

09/04/2020

Modall

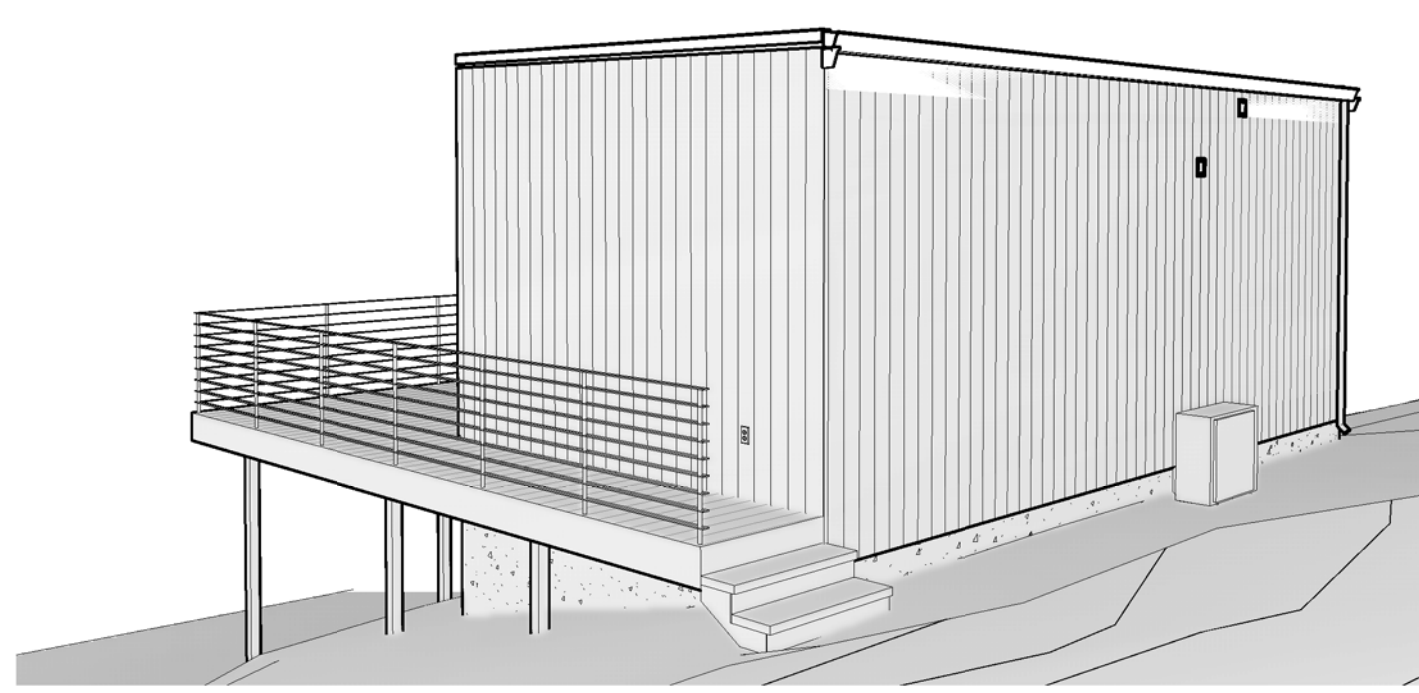
MODAL 00 ADU - NUNEZ
2721 E 2100 S, Salt Lake City, UT 84109

COND. USE	09/04/2020
REVISIONS	DATE
MARK	DATE
PLOT DATE	09/04/2020
PROJECT	2001
DRAWN BY	IK
CHECKED BY	N/A
SHEET TITLE	
TITLE SHEET, SITE PLAN	

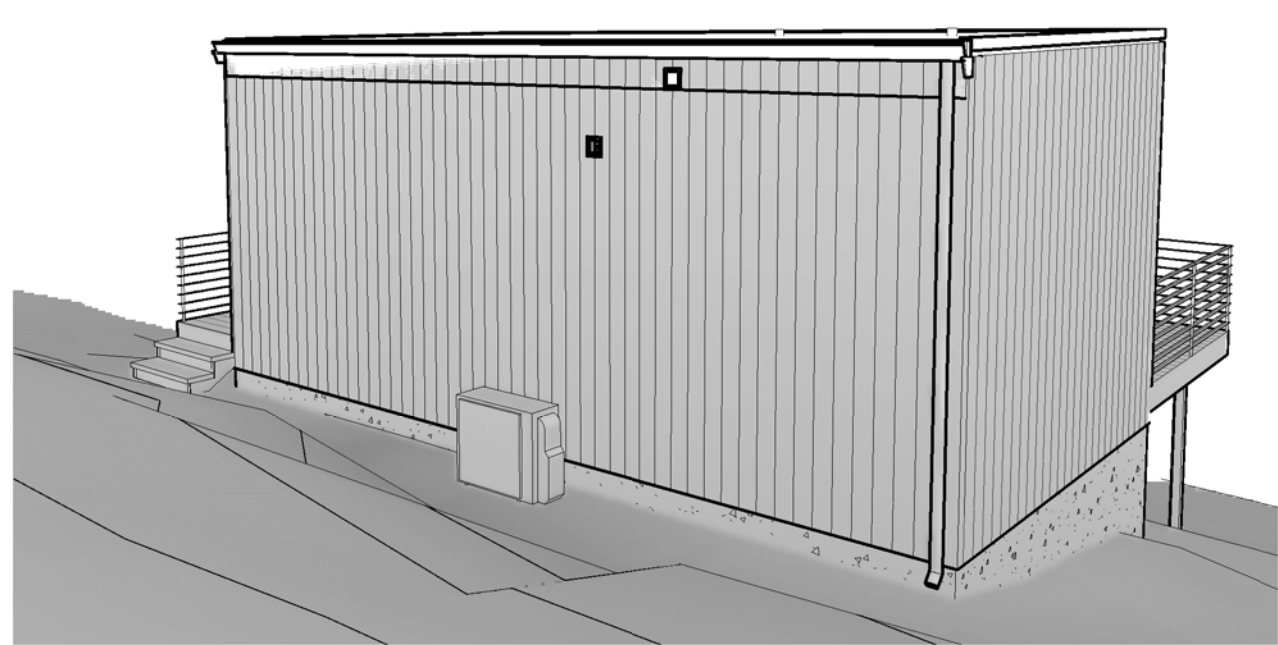
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GENERAL NOTES - ELEVATIONS

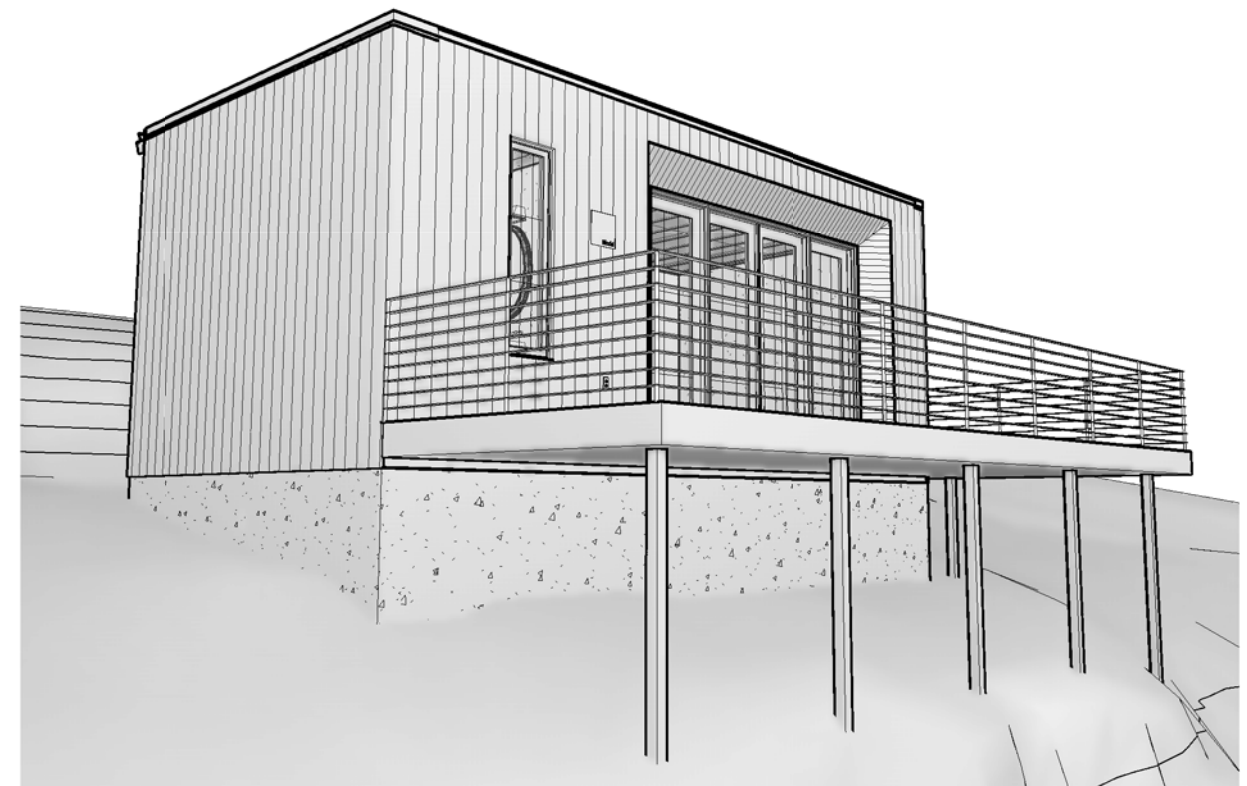
1. WHEN SHOWN IN ELEVATION OR SECTION, ALL DIMENSIONS ARE TO TOP OF PLATE, TOP OF CONCRETE OR TOP OF CEMENT-BASED UNDERLAYMENT, U.N.O.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
3. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.



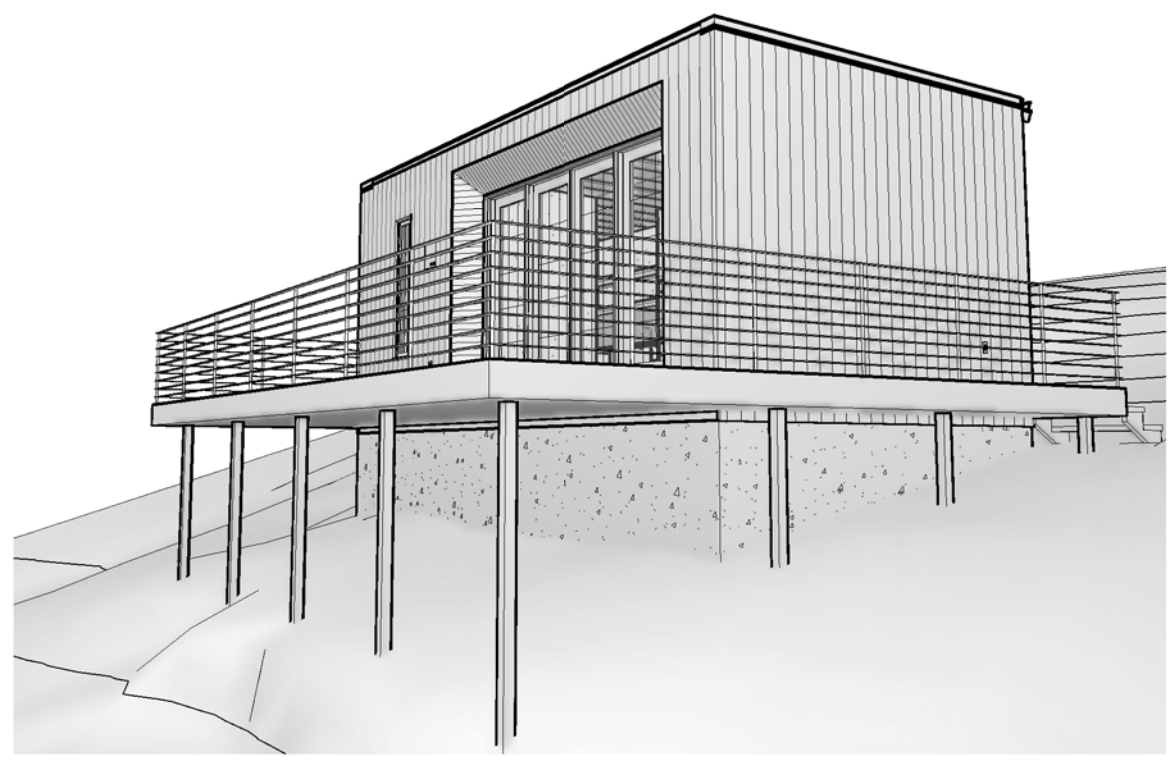
Perspective 4



Perspective 3



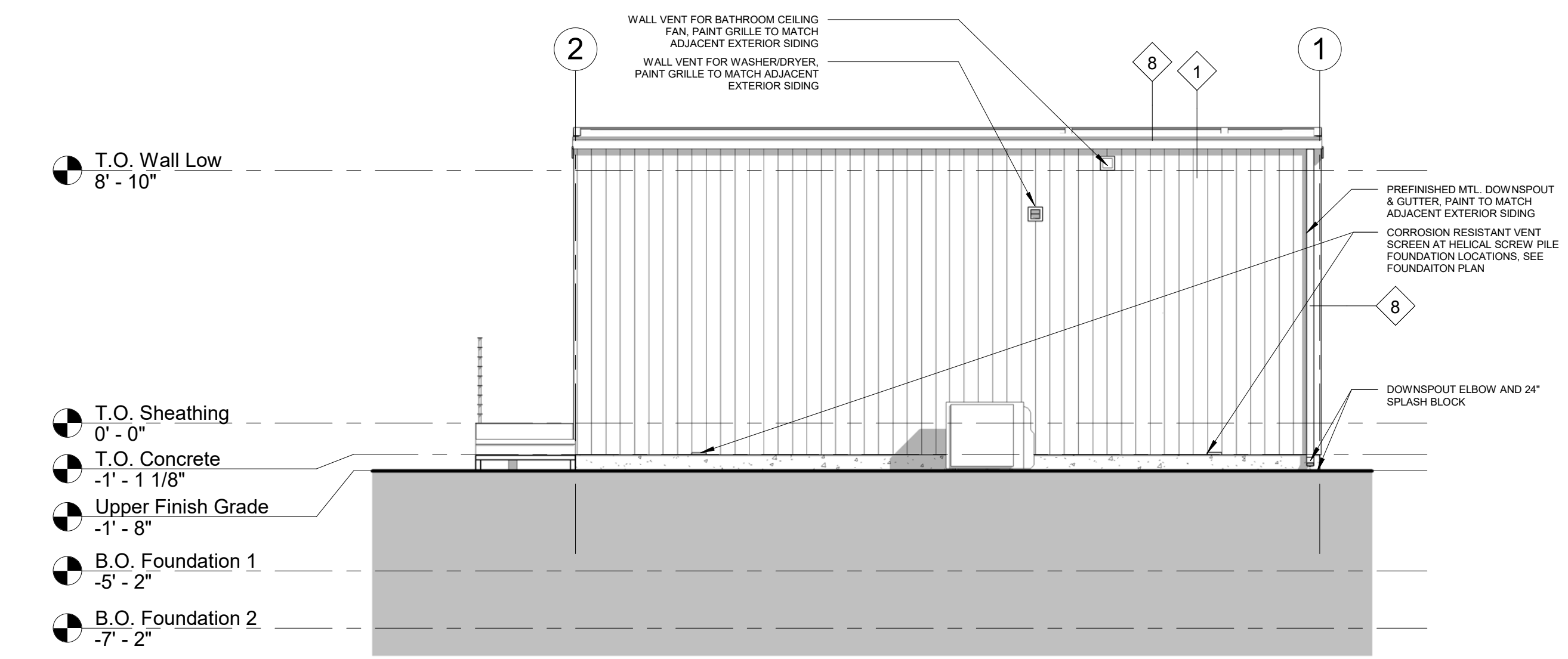
Perspective 2



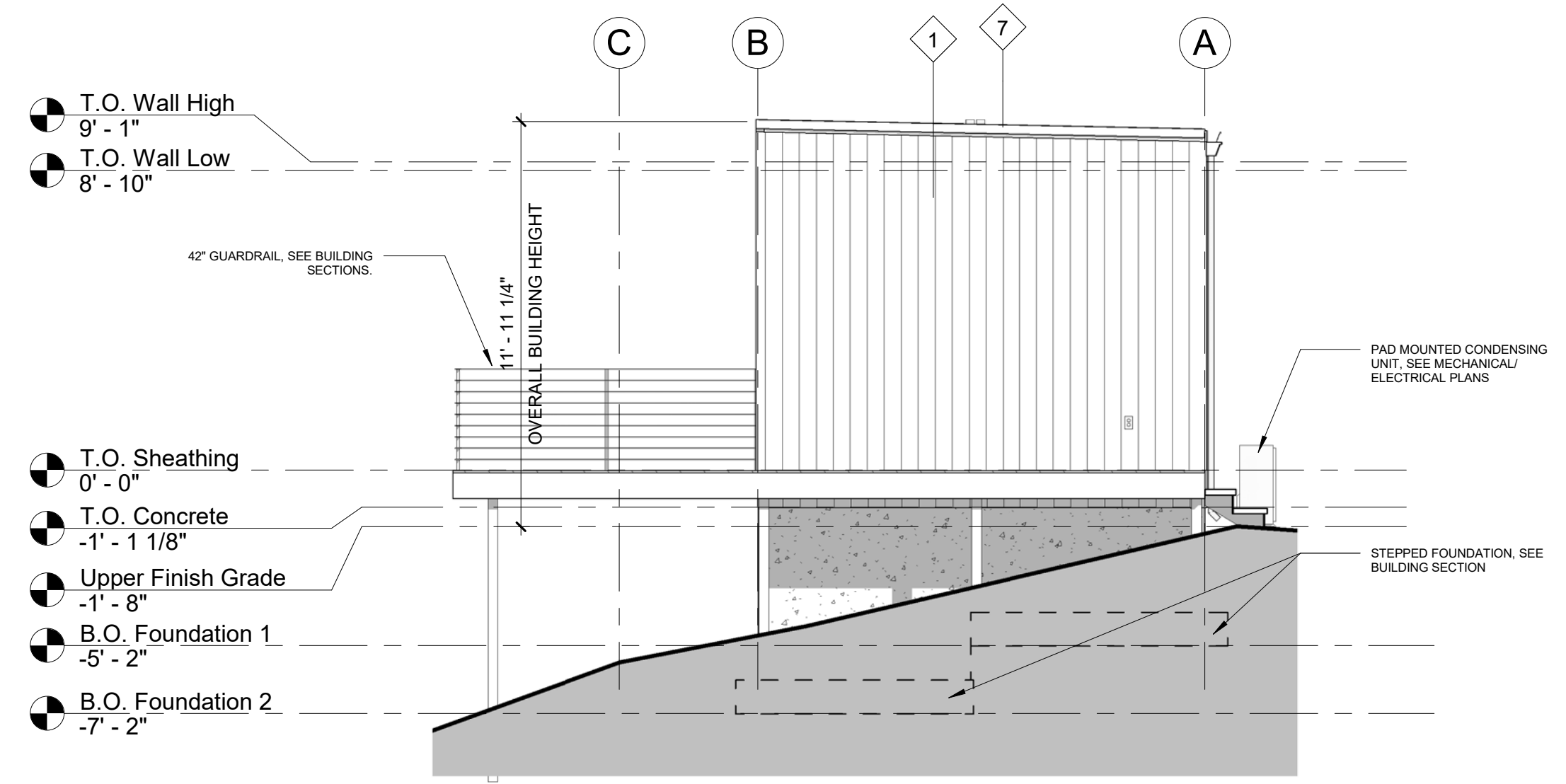
Perspective 1

MARK	MATERIAL	MANUFACTURER	COLOR	
1	VERTICAL SIDING	JAMES HARDIE	ASPYRE ARTISAN SHIP LAP	N/A
2	HORIZONTAL SIDING	JAMES HARDIE	ASPYRE ARTISAN SHIP LAP	N/A
3	VERTICAL CEDAR SIDING	TBD	3" T+G CEDAR WITH CLEAR COAT SEALANT	CLEAR
4	HORIZONTAL CEDAR SIDING	TBD	3" T+G CEDAR WITH CLEAR COAT SEALANT	CLEAR
5	CEMENT BOARD	JAMES HARDIE	ASPYRE ARTISAN REVEAL PANEL, SMOOTH RECESSED TRIM, SEE ELEVATIONS FOR REVEAL LOCATIONS	GREY
6	VERTICAL STANDING SEAM METAL	TBD	26 GA., 1" SEAMS 16" O.C.	N/A
7	METAL FLASHING	TBD	COLOR TO MATCH EXTERIOR SIDING	N/A
8	ALUM. GUTTER AND DOWNSPOUT	TBD	COLOR TO MATCH EXTERIOR SIDING	N/A
9	STEEL HANDRAIL	TBD	POWDERCOAT BLACK	N/A
10	STAIR RISERS & STRINGERS	TBD	STAIN TO MATCH DECK FINISH	N/A

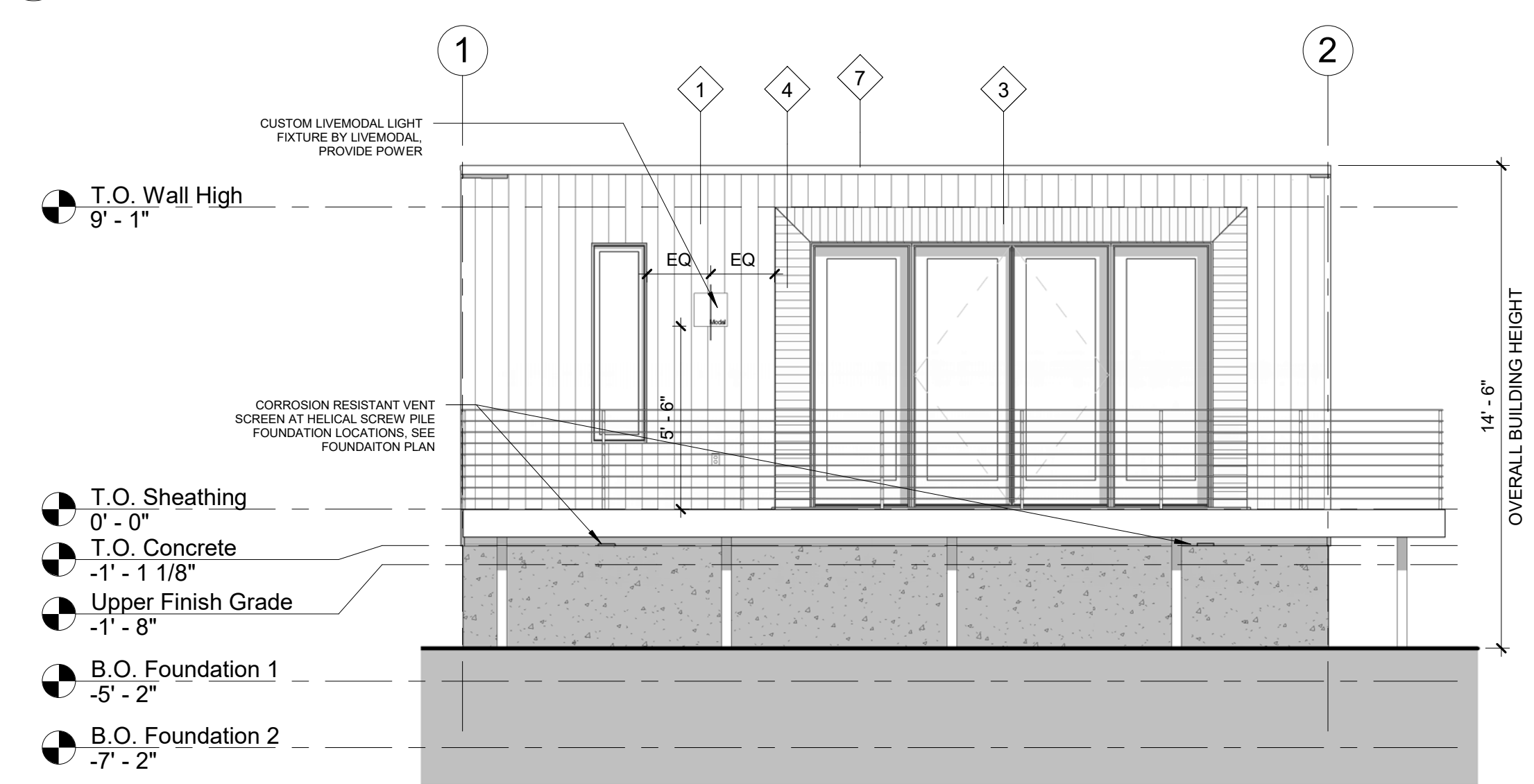
EXTERIOR FINISH SCHEDULE



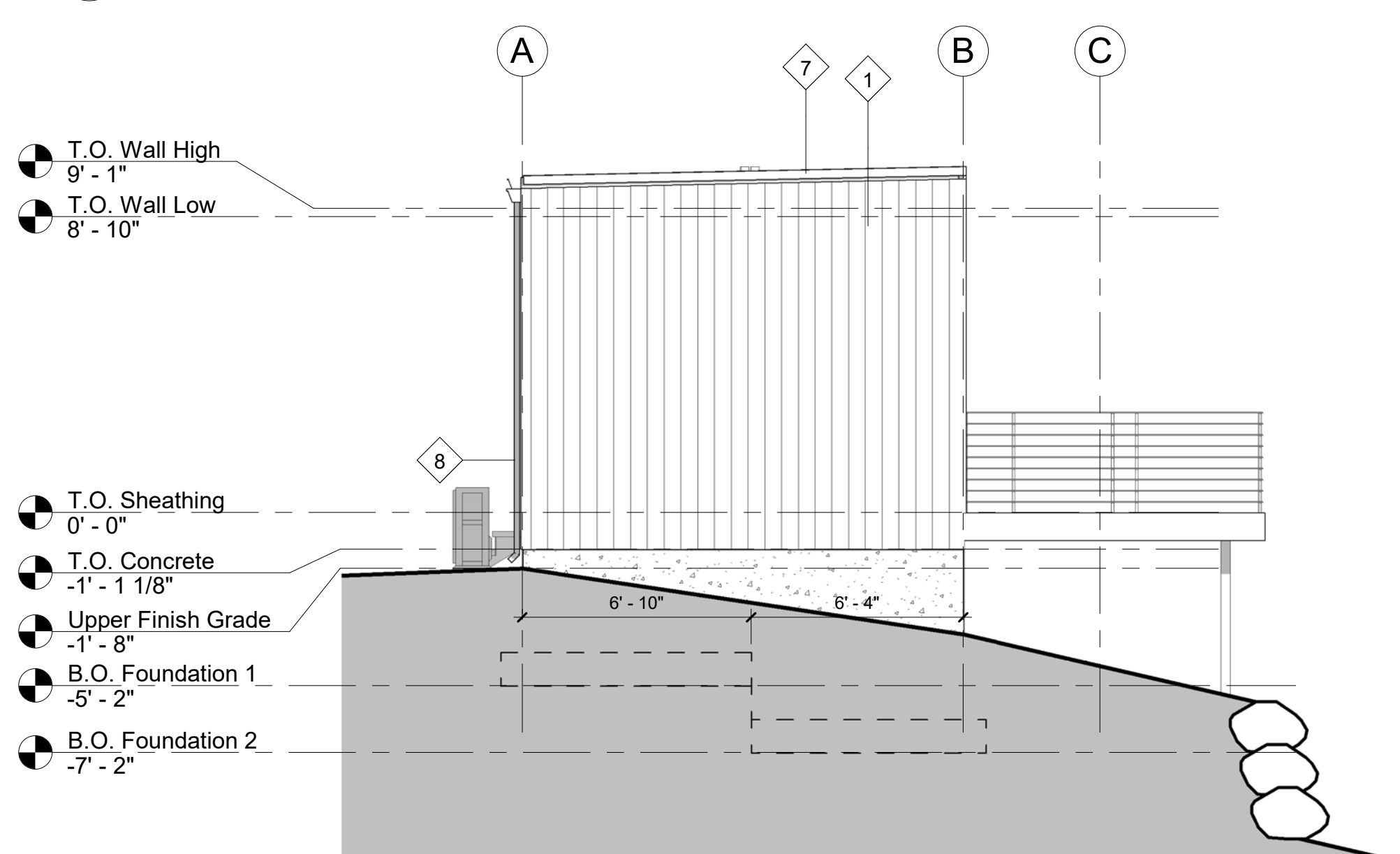
04 ELEVATION - REAR
1/4" = 1'-0"



03 ELEVATION - SIDE 1
1/4" = 1'-0"

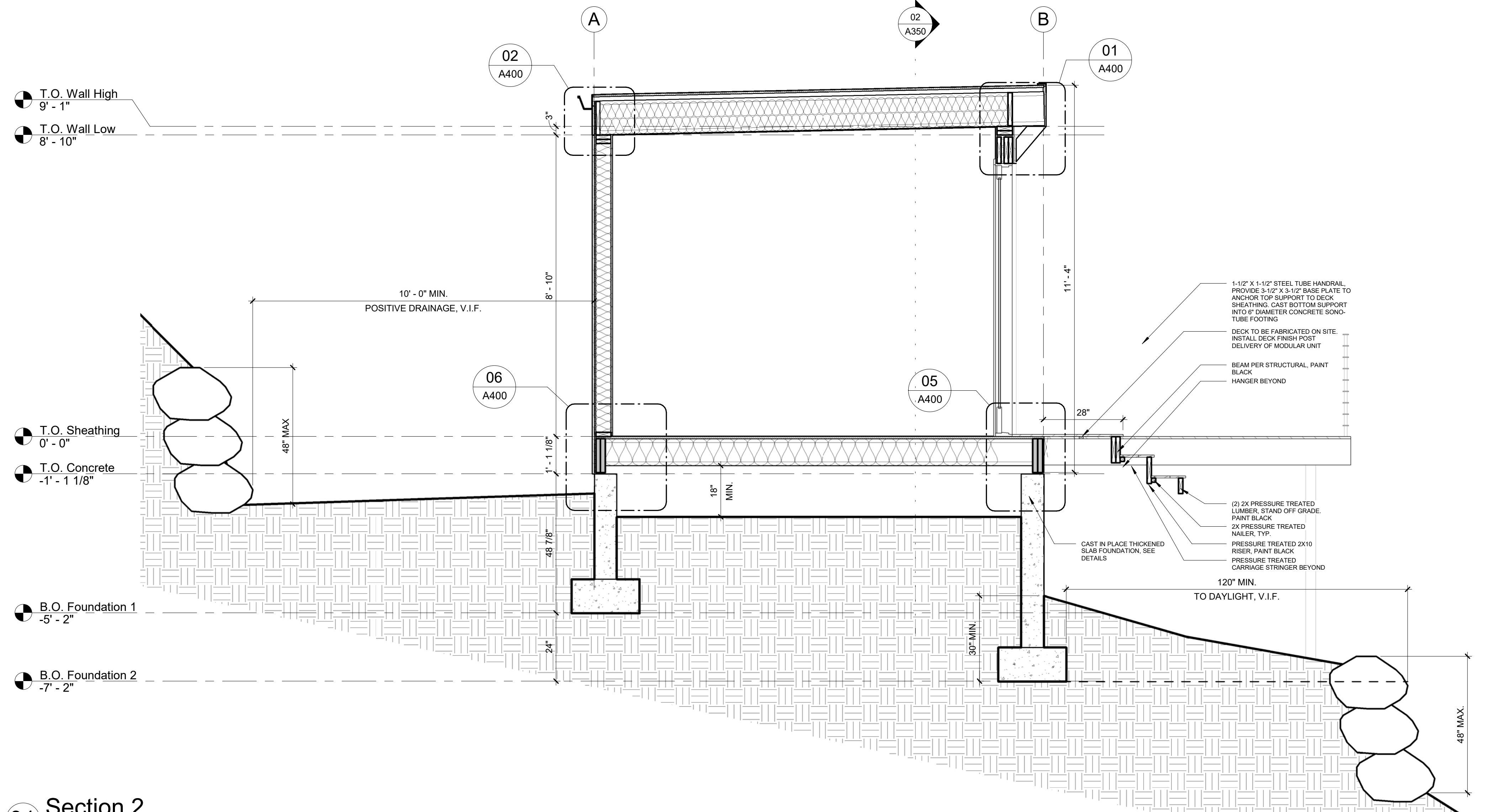


02 ELEVATION - FRONT
1/4" = 1'-0"

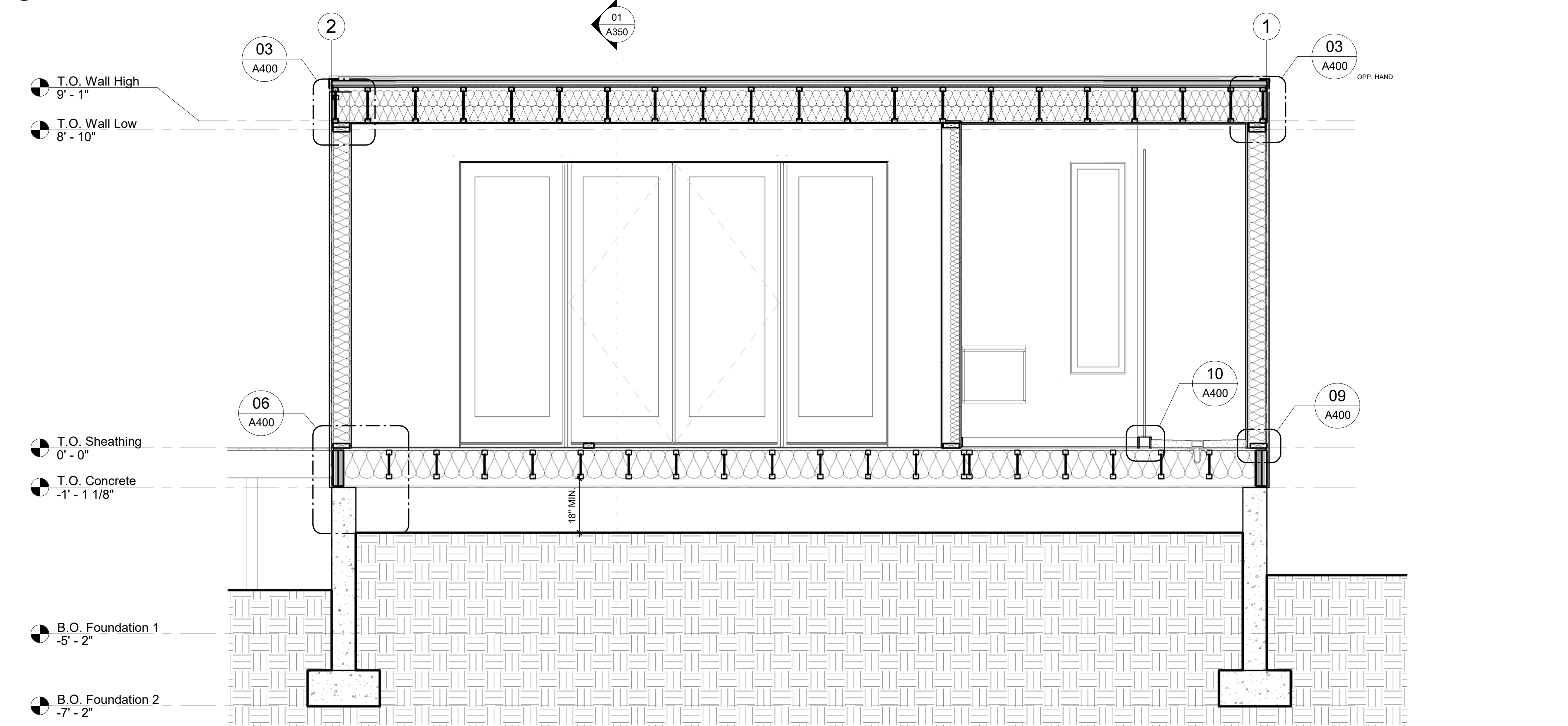


01 ELEVATION - SIDE 2
1/4" = 1'-0"

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01 Section 2
1/2" = 1'-0"



02 Section 1
1/2" = 1'-0"

GENERAL NOTES - SECTIONS

1. THESE BUILDING SECTIONS ARE SHOWN FOR SPACIAL RELATIONSHIPS ONLY AND SHOULD NOT BE SOLE BASIS FOR JOINING MATERIALS. REFER TO CALLOUT DETAILS OR ASK ARCHITECT IF UNCERTAIN OR IF CONFLICTS OCCUR.
2. WHEN SHOWN IN ELEVATION OR SECTION, ALL DIMENSIONS ARE TO TOP OF PLATE, TOP OF CONCRETE, U.N.O.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
4. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.

LEGEND - SECTIONS

DIMENSION - DENOTING FACE OF STRUCTURE/FRAMING U.N.O.
 DIMENSION - DENOTING CENTERLINE
 DIMENSION - DENOTING FACE OF FINISH/CLEAR
 GRID LINE REFERENCE - FACE OF STUD, EDGE OF CMU
 EARTH
 PROPOSED GRADE
 EXISTING GRADE
 SIM BUILDING SECTION REFERENCE DWG. NO. SHT. NO.
 SIM WALL SECTION REFERENCE DWG. NO. SHT. NO.

COND. USE	09/04/2020
REVISIONS	DATE
PLOT DATE	09/04/2020
PROJECT	2001
DRAWN BY	K
CHECKED BY	N/A
SHEET TITLE	BUILDING SECTIONS